

Simpson Building Group, Multi Dwelling Housing Development (8x2 Bed Townhouses)
71-73 Vicliffe Avenue, Campsie, NSW Lots 18 & 20 DP 35130 & 35848
Part 5 Activity Submission - 18/11/22

Architectural

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Civil / Stormwater Drawing Schedule

220215	C01	Notes & Legends
220215	C02	Ground Floor Drainage Plan
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Landscape Drawing Schedule

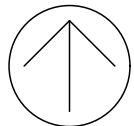
2789.22	L01	Landscape Plan
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Survey Drawing Schedule

BGM9R	002	Plan Showing Detail and Levels
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3 Location Plan
not to scale



Stanton
Dahl
Architects



Simpson Building
Group

Multi Dwelling Housing Development
(8x2 Bed Townhouses)
71-73 Vicliffe Avenue,
Campsie, NSW Lots 18 & 20 DP
35130 & 35848

Drawn; DD
Checked; JOK
Plot date; 27/1/23

Scale; as noted @ A1

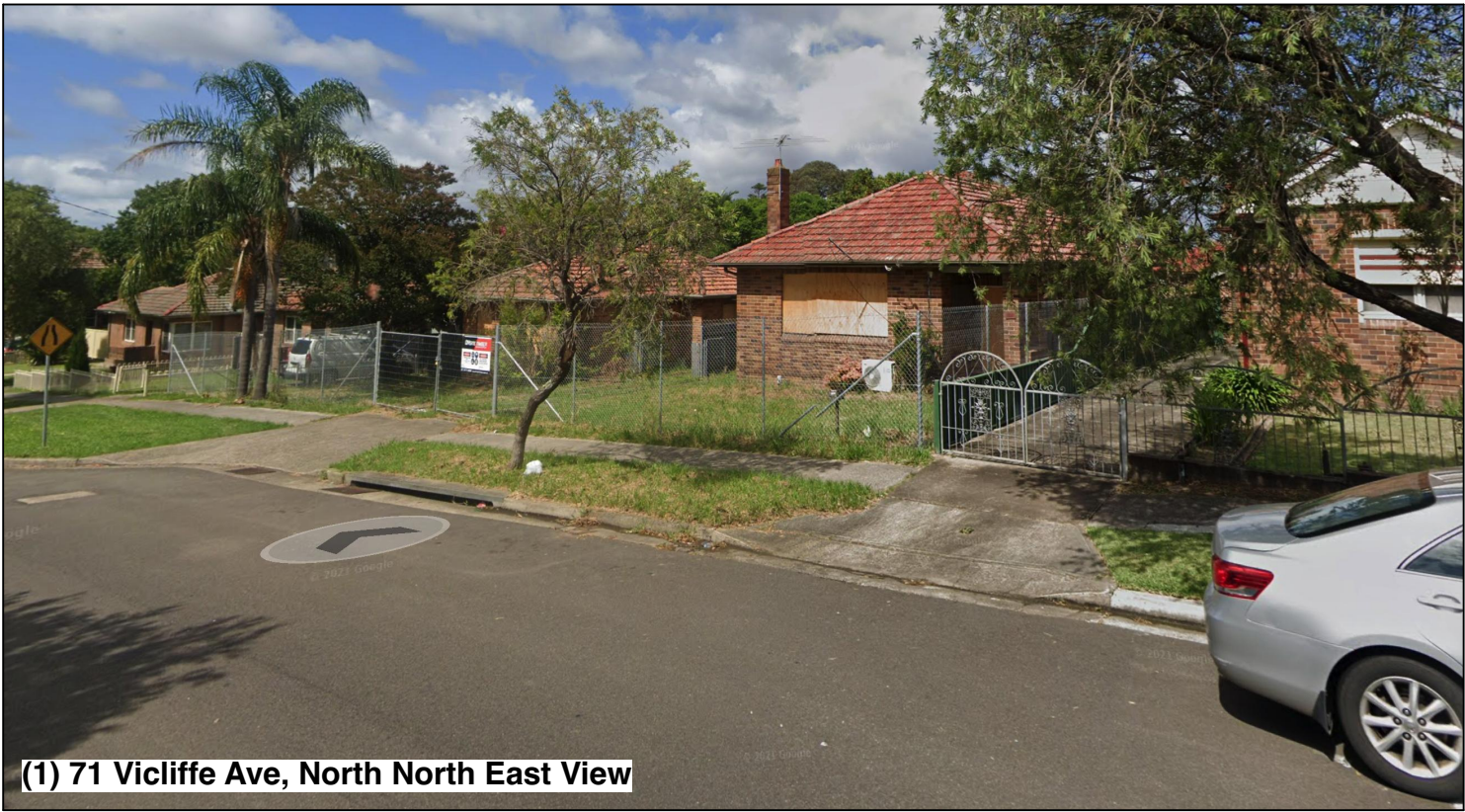
Project No;
BGYRM

Drawing No; Revision#;
DA00 02

Cover Sheet &
Location Plan



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(1) 71 Vicliffe Ave, North North East View



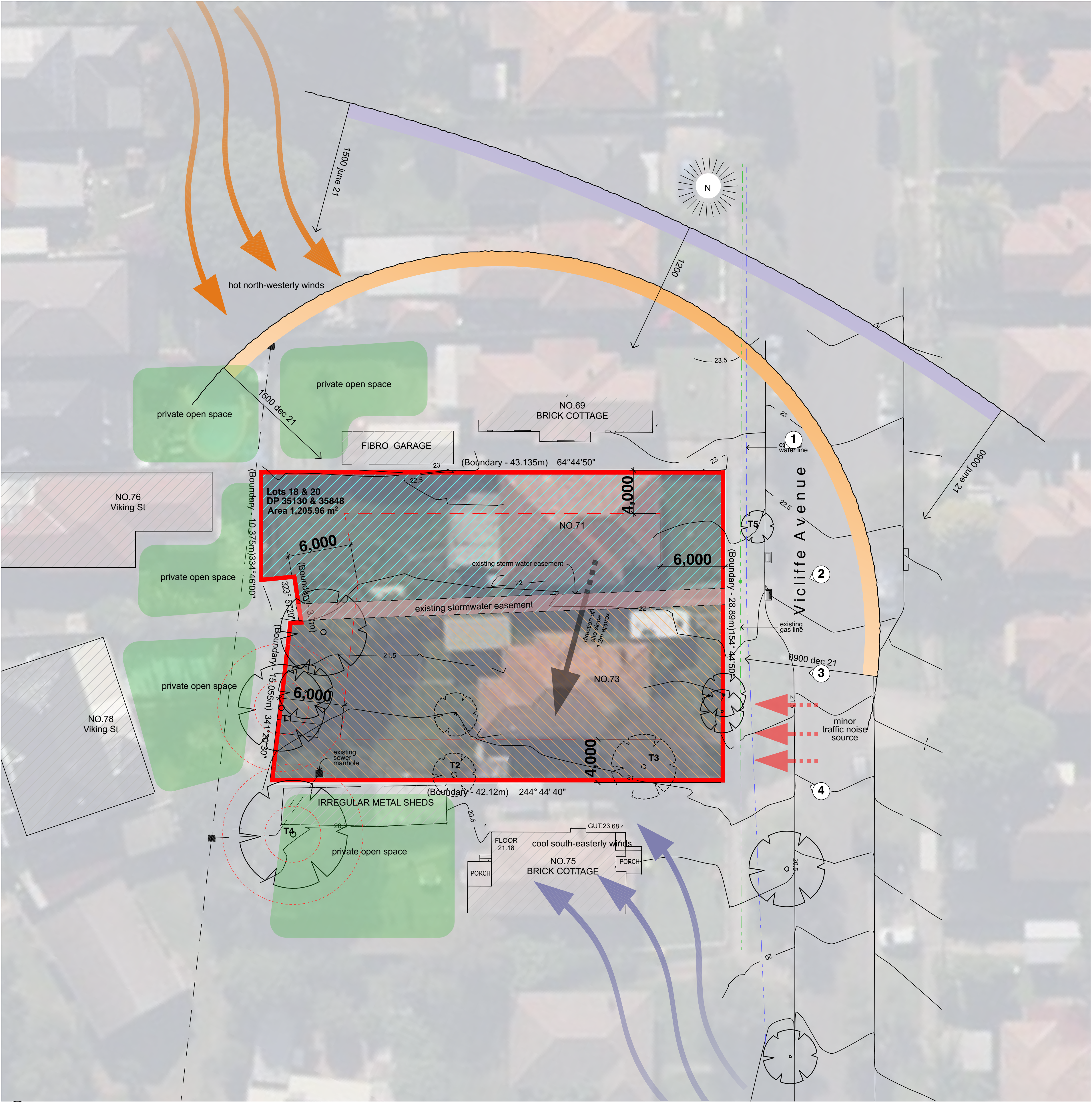
(2) 71-73 Vicliffe Ave, North East View



(3) 71-73 Vicliffe Ave, East North East View



(4) 71-73 Vicliffe Ave, East View



1 Site & Block Analysis
1:200

02	18/01/23	Revised Part 5 Issue
01	18/11/22	Part 5 Issue
Rev	Date	Issue
do not scale drawings, check all dimensions on site, figured dimensions take precedence.		

Project Architect:
Stanton Dahl Architects
Ph: (02) 8876 5300

Landscape Consultant:

Hydraulic & Structural Consultant:

Electrical Consultant:

Architect:

Stanton
Dahl
Architects

Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)
at
71-73 Vicliffe Avenue, Campsie

Title:
Site & Block Analysis Plan

File:
2789.22_Site Master_71-73
Vicliffe Ave, Campsie.pln

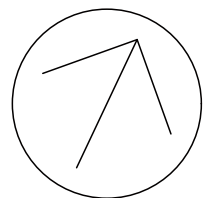
Plotted:
27/1/23
8:56 am

Status: Part 5 Activity - ADD DATE

Date:	Scale:	S/d job no:	Project no:
27/1/23	1:200 @ AI	BGVRM	2789.22
Stage:	Drawn:	Checked:	Approved:
	DD	JOK	JOK
Drawing:	Sheet:	Rev:	
DA01	2	of 16	02



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DEVELOPMENT DATA (Multi Dwelling Housing)					
Job Reference (eg:BGMJ2)	BGYRM				
Locality / Suburb	Campsie				
Street Address	71-73 Vicliff Avenue				
Lot Number(s) & Deposited Plan	Lot 20 in DP 35130 and Lot 18 in DP 35848				
Housing SEPP Division	Division 6				
Zoning	R4 – High Density Residential and R3 – Medium Density Residential Multi-dwelling housing is permitted in both zones				
SITE AREA (sqm)	1,206 m ² (as shown on survey)				
NUMBER OF EXISTING LOTS	2				
PROPOSED GFA* (sqm)	621.45m ²				
NUMBER OF DWELLINGS	8 x 2-bed townhouses ²				
DWELLINGS	Number	Type	No of Bedrooms	Area*(m ²) Min. (Dwelling Requirements)	Proposed POS
	1	Townhouse	2 bedrooms	70m ²	64.92m ²
	2	Townhouse	2 bedrooms	70m ²	73.89m ²
	3	Townhouse	2 bedrooms	70m ²	73.46m ²
	4	Townhouse	2 bedrooms	70m ²	74.43m ²
	5	Townhouse	2 bedrooms	70m ²	73.77m ²
	6	Townhouse	2 bedrooms	70m ²	73.96m ²
	7	Townhouse	2 bedrooms	70m ²	73.80m ²
	8	Townhouse	2 bedrooms	70m ²	73.30m ²

Control			Requirement	Proposed
BUILDING HEIGHT	Housing SEPP Cl. 42(1)(b)		9m*	7.7m
			*Clause C1(a) of the Canterbury DCP limits multi-dwelling development in the rear 35% of a site to single storey only. This applies to multi-dwelling development in both the R3 and R4 zones. Two-storey development in the rear 35% of the site may be supportable on 71 Vicliff Ave provided minimum setbacks of 6m from the rear and 4m from the side (northern) boundary are provided. This would achieve a similar built form outcome to a residential flat building (albeit of a lesser height) which is a permitted form of development in the R4 zone.	
NO. OF DWELLINGS	Housing SEPP Cl. 42(1)e		Max. 60 dwellings	8 dwellings
PARKING	Housing SEPP Cl. 42(1)(d)	Accessible area	4 spaces (8 x 2-bed @ 0.5 = 4)	4 spaces
FSR	CLEP 2012 Cl. 4.4		(71 Vicliffe site area 558.10m ²) Max FSR 0.9:1 = 502.29m ² (73 Vicliffe site area 647.32m ²) Max FSR 0.5:1 = 323.66 The total GFA and proposed FSR must be calculated for each respective lot. Any breach in FSR would be subject to a merit based assessment of the final design.	71 Vicliffe Ave FSR = 391m ² (0.7:1) 73 Vicliffe Ave FSR = 235m ² (0.36:1)
SETBACK(s)	Canterbury DCP 2012	Front Setback	6m (including minimum 5m deep soil area)	6m

	(chapter C3)	Side Setback	Southern boundary (73 Vicliff Ave): 1.5m if the dwellings face the street, otherwise 2.5m (including min. 1m deep soil area) Northern boundary (73 Vicliff Ave): 4m (including min. 2m deep soil area)	South boundary 6.2m North boundary 3.15m
		Rear Setback	Single storey: 3m (entire setback area must be deep soil) Two storey: 6m (including min. 5m deep soil area)	4.25m
DEEP SOIL		SLUDG	15% of site area (181m ²) 2/3 at rear (121m ²) Min. dimension 3m	Total = 201m ² (17%) Rear Total = 164m ²
LANDSCAPED AREA		SLUDG	30% of site area = 361.8m ²	Total = 363m ² (30%)
		Canterbury DCP 2012 (chapter B2)	Front and rear setbacks are to have at least one major canopy tree for every 12m of front and rear boundary width. Site boundaries are to have one major tree for the first 45m plus one additional tree for every additional 20m.	4 trees along front boundary
PRIVATE OPEN SPACE	LAHC Dwelling Requirements		Studio/1-bed: 8m ² 2-bed: 10m ² 3-bed: 12m ² Minimum 2m depth. It is expected that ground level dwellings would exceed these minimum areas.*	Complies
			*Please note that the local controls require more generous areas of POS for multi-dwelling development; minimum 40m ² . This should be kept in mind during design development, and larger areas of POS provided where possible.	
SOLAR ACCESS		SLUDG	70% of dwellings living areas & POS have 3 hours of sunlight between 9am and 3 pm 21 June	Living = 6/8 units comply (75%) POS = 7/8 units comply (88%)
		Canterbury DCP 2012 Cl. C3.5.1(C4)	Proposed development must retain min. 3 hours sunlight between 8am and 4pm in midwinter for existing primary living areas and to 50% of the principal POS of neighbouring development.	Complies, number 75 Vicliffe Ave, maintains more than the 3 hour minimum to living areas & POS.
BUILDING DEPTH		Canterbury DCP 2012 Cl. C3.3.4	Maximum 25m building depth	19m
BUILDING SEPARATION		Canterbury DCP 2012 Cl. C3.3.5	Minimum 5m separation between buildings on the same site. Garages, carports or outdoor parking are not permitted in the building separation area.	6.15m
GENERAL DESIGN		Canterbury DCP 2012 Cl. C3.4.1(C11)	Ground level private terraces located within the front setback must be setback at least 1m from the street boundary to accommodate a landscape strip.	Complies
		Canterbury DCP 2012 Cl. C3.4.1(C22)	Stagger front wall alignments with a step (not a fin wall or other protruding feature) of at least 0.5m for residential buildings.	Entry portals achieve this step frontage
DWELLING LAYOUT AND MIX		Canterbury DCP 2012 Cl. C3.4.3 (C5)	Minimum 8m ³ or storage for 2-bed dwellings.	All units excluding robes = 1.8m ³ All units including robes & kitchen joinery = 10.15m ³
		Canterbury DCP 2012 Cl. C3.4.3(C7)	10% of dwellings must be accessible or adaptable.	0 accessible units
WASTE MANAGEMENT		Canterbury DCP 2012 Appendix 2	Waste: 1 x 140L bin/dwelling	8 x 140L Rubbish
			Recycling: 1 x 240L bin/dwelling Garden waste: 1 x 240L bin/dwelling	4 x 240L Recycling 2 x 240 Garden Waste

NATHERS Thermal Performance Specification - Campsie			
Wall Type		External Walls	
		Insulation	Colour
Brick Veneer		R2.7	Light - SA < 0.475 As per elevations
Metal Cladding		R2.7	Med - SA 0.475 - 0.70 As per elevations
		SA - Solar Absorptance	
Wall Type		Internal Walls	
		Insulation	Comments
Plasterboard stud		None	Internally insulate dwellings except below
Plasterboard stud		R1.5	Internal wall of WC and bath: U1, U5
Shaft liner with plaster		None	Party walls between dwellings
Floor Type		Floors	
		Insulation	Comments
Concrete slab on ground		None	Ground floor
Timber		None	First floor
Timber suspended		None	Part of first floor
Ceiling Type		Ceilings	
		Insulation	Comments
Plasterboard		None	Floor above except below
Plasterboard		R1.5	Internal ceiling of ground level: U5
Plasterboard		R2.5	Level 1 ceiling: U2, U3, U4, U6, U7
Plasterboard		R3.5	Level 1 ceiling: U1, U5, U8
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof Type			
Roof Type		Insulation	Colour
		Insulation	Comments
Metal		R1.8 foil-faced blanket	Med - SA 0.475 - 0.70 Throughout except below (Unventilated roof space)
Metal		R2.0 foil-faced blanket	Med - SA 0.475 - 0.70 U1, U5, U8 (Unventilated roof space)
		SA - Solar Absorptance	
Glazing			
Opening Type		U-Value	SHGC
		U-Value	SHGC
Sliding + Fixed: U2, U3, U4, U7		0.7	0.20 e.g. Single glazed clear Aluminium frame
Sliding + Fixed: U1, U6		0.8	0.59 e.g. Single glazed high performing low-e clear Aluminium frame
Sliding + Fixed: U5, U8		0.1	0.52 e.g. Double glazed clear Aluminium frame
Awning + Hinged door: U2, U3, U4, U7		0.7	0.57 e.g. Single glazed clear Aluminium frame
Awning + Hinged door: U1, U6		0.8	0.51 e.g. Single glazed high performing low-e clear Aluminium frame
Awning + Hinged door: U5, U8		0.1	0.47 e.g. Double glazed clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ≤ 10% of the above specified values.			
Skylights			
Skylight Type		Frame Type	Comments
		Frame Type	Comments
Single glazed fixed skylube		Timber & Aluminium	As per plans
Ceiling Fans			
Size		Location	Comments
		Location	Comments
1200mm in diameter		Living + dining + all bedrooms	All dwellings

Certificate Prepared by		
	Greenview Consulting Pty Ltd	
	ABN: 32600067338 Email: dean@greenview.net.au Phone: 0404 649 762	

LHA Silver level compliance Specifications:

External works

- Access is required from either Option 1- Accessible pathway from site boundary or Option 2- Access from a car parking space.

Option 1 details

- Pathway linking the site boundary to the main entry doorway to be step free, have min clear width of 1000mm, an even, firm, slip resistant surface and a crossfall of not more than 1:40.
- If a ramp is required to the access pathway, then a maximum pathway slope to be 1:14, with landings provided at no greater than 9m for a 1:14 ramp and no greater than 15m for ramps steeper than 1:20. Landings should be not less than 1200mm in length.
- If the height is 190mm or less, a step ramp may be provided at an entrance doorway with a max gradient of 1:10 and a minimum clear width of 1000mm.
- Level landings to be no less than 1200mm in length, exclusive of the swing of the door or gate that opens onto them, must be provided at the head and foot of the ramp.

Option 2 details

- A car parking space to be provided with CLEAR size of 3200x5400 and connected to the main house with a level difference of not more than 56mm if door is in the corner of the garage or flush if not in the corner of the garage.
- Even, firm and slip resistant surface with grade of no more than 1:40.

General external requirements

- A level landing area of 1200mm x 1200mm should be provided at the level (step-free) entrance door with roof over.
- Where the threshold at the entrance / garage door exceeds 5mm and is less than 56mm, a 1:8 grade ramped threshold is to be provided

Internal works

- All doorways to the entry level to have a minimum clear opening width of 820mm. If the entry level does not have a shower then the door to bathroom on upper floor level with shower is also to have a minimum clear opening width of 820mm. Provision of bath-tub is not mandatory but where provided, the bathroom with the bathtub is located is also required to have a minimum clear opening width of 820mm.
- A level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled) is to be provided to all areas on the entry level.
- Internal corridors/passageways to the doorways to entry level should provide a minimum clear width of 1000mm when measured from skirting to skirting or skirting to benchtop or benchtop to benchtop.
- 1 WC pan on entry level to have slip resistant flooring and to have a minimum clear space of 900mm (width) x 1200mm (forward of pan) clear of door swing or any fixtures including hand basins.
- Min 600mm wall forward of the WC pan is required to have noggings and to be clear of the door frame.
- One bathroom should feature a slip resistant, hobless (step-free) shower recess in the corner of the room. Shower screens are permitted provided they can be removed at a later date.
- Wall reinforcements for the toilet on the ground floor / entry level and 1 corner shower and to bathtub (if any) are required to be as shown in the Livable Housing Guidelines ie 25mm nogging or 12mm sheeting.
- Internal Stairway where provides is required to provide a continuous handrail on one side. If winders are provided to the mid landings then the continuous handrail is to be on the outside. (not on the side where the steps merge)



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02	18/01/23	Revised Part 5 Issue
01	18/11/22	Part 5 Issue
Rev	Date	Issue
do not scale drawings, check all dimensions on site, figured dimensions take precedence.		

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Landscape Consultant:

Hydraulic & Structural Consultant:

Architect:



Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)

at
71-73 Vicliffe Avenue, Campsie

Title:
Development Data

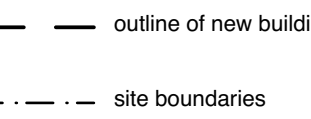
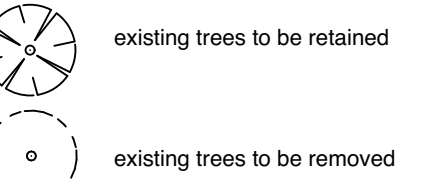
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Vicliffe Ave, Campsie.pln

Plotted:
27/1/23
8:57 am

Status: Part 5 Activity - ADD DATE

Date:	Scale:	S/d job no:	Project no:
27/1/23	@ AI	BGYRM	2789.22
Stage:	Drawn:	Checked:	Approved:
	DD	JOK	JOK
Drawing:	Sheet:	Rev:	
DA02	3	of 16	02

Legend cut & fill plan
note: drawing may not contain all items listed below

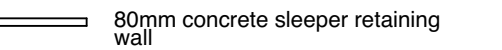
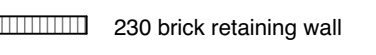


note:
blue area indicated extent of fill

note:
red area indicated extent of cut

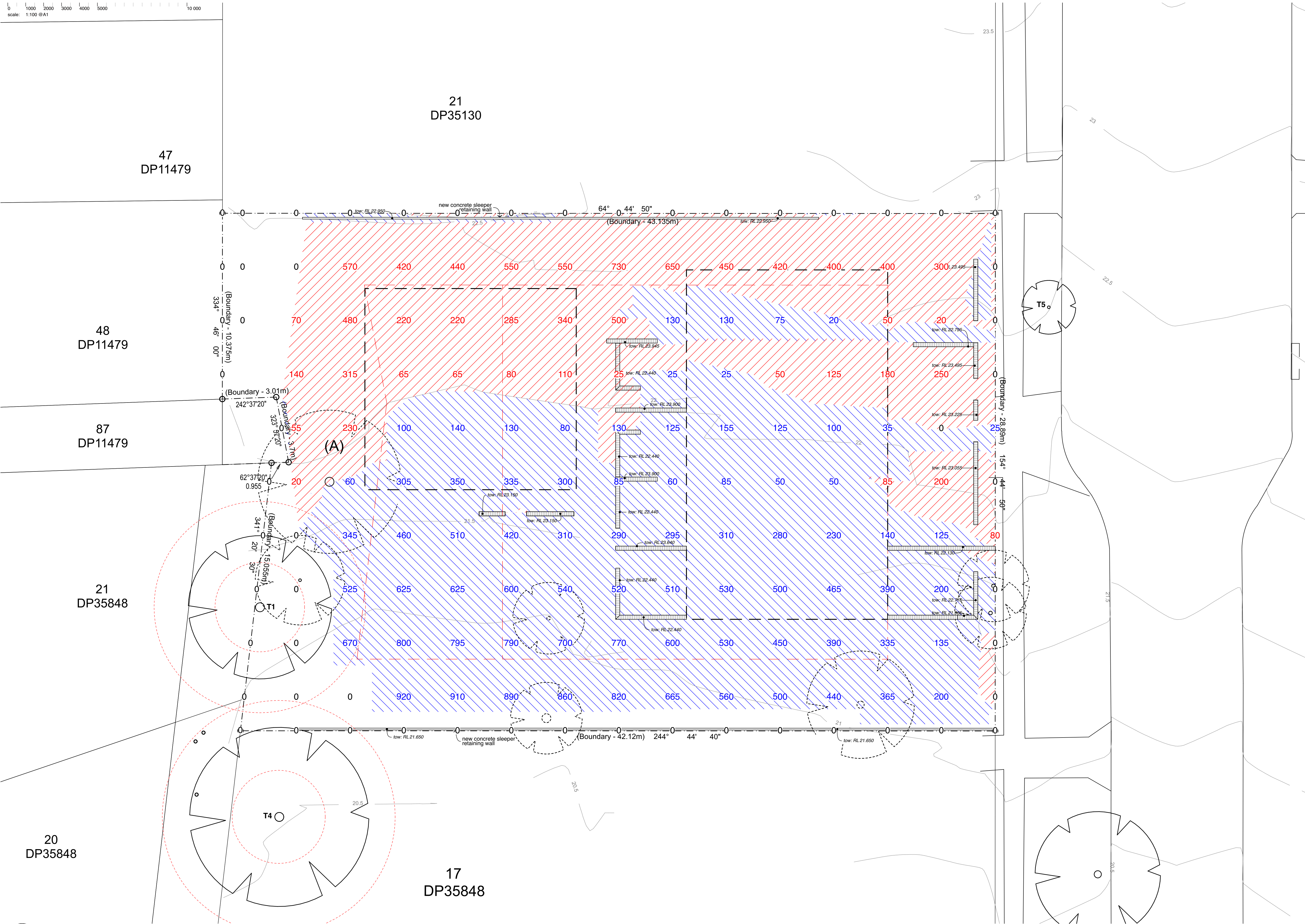
50 approx. depth of cut and fill in millimetres

40 approx. location of existing contours



RL00.00 → proposed levels

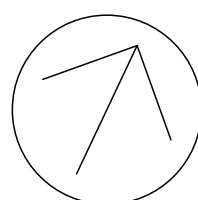
note:
all cut and fill notations are a guide and only used for preliminary review



1 **Cut & Fill**
1:100



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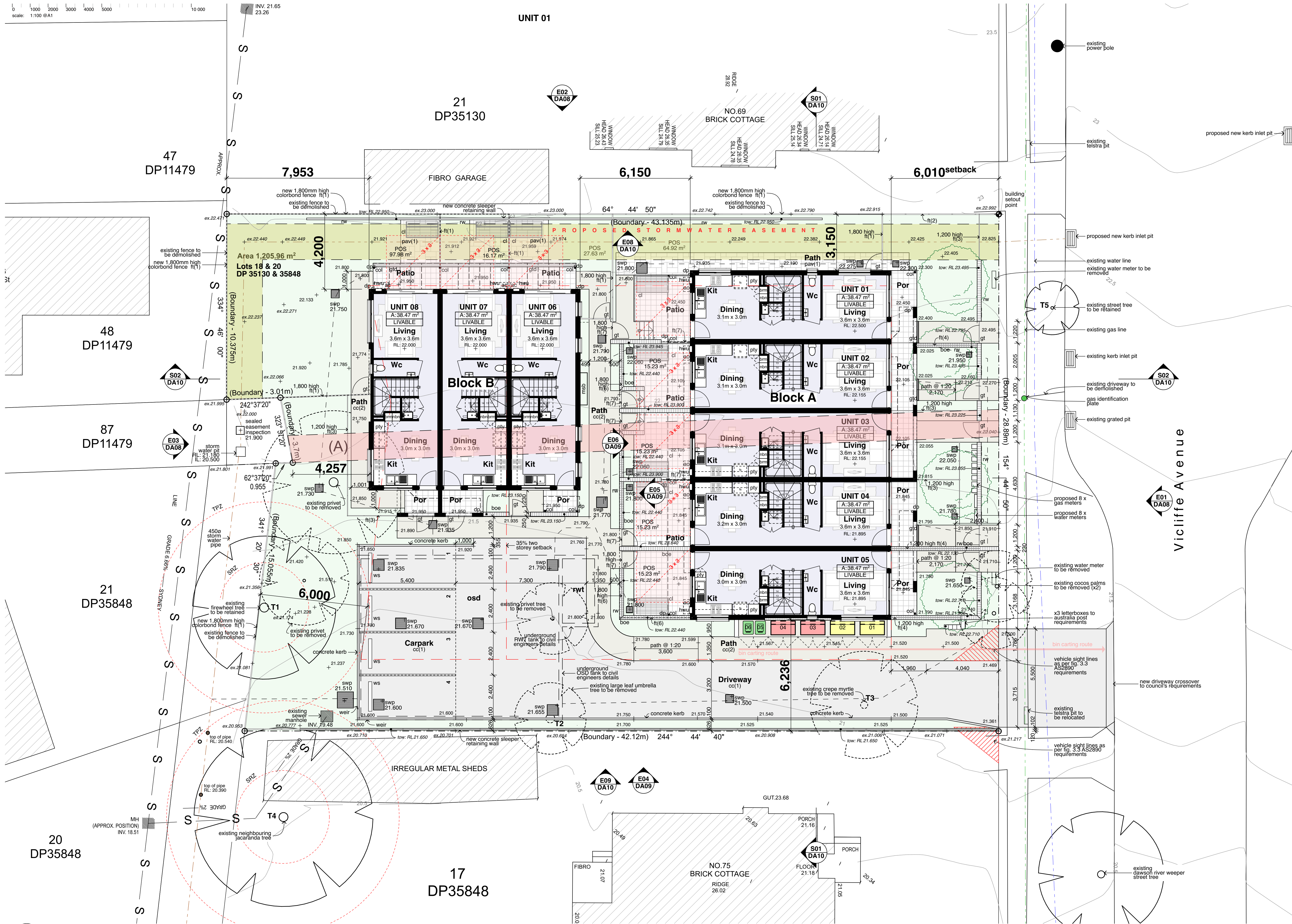
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Cut & Fill Plan

File:
2789.22_Site Master_71-73
Viccliffe Ave, Campsie.pln

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Date: 27/1/23
Scale: 1:100 @ A1
Stage: DD
Drawing: DA03
S/d job no: BGVRM
Checked: JOK
Rev: JOK
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Approved: JOK
Rev: JOK
4 of 16 02



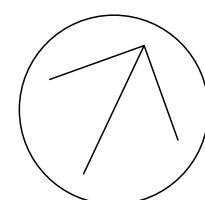
Legend (external work / site plan)
note: drawing may not contain all items listed below

- ex contours & banking line
- existing trees to be retained
- existing trees to be removed
- proposed new trees
- existing stormwater easement
- proposed stormwater easement
- proposed storm water pipe
- water services
- gas services
- ex.39.000 existing ground levels
- RL.00.00 proposed levels
- proposed spot levels (ftl)
- ac air conditioner condenser
- acc accessible
- adhc ageing, disability & home care
- ap access panel
- bal(1) balustrade (type)
- bfc broom finished concrete
- boe brick on edge
- bol bollard
- cc(1) coloured concrete (type)
- clt(1) ceramic floor tile (type)
- cl clothes line
- col column
- dp downpipe
- drp doorpost
- ex existing
- fb(1) facebrick work (type)
- fl finished floor level
- ft(1) fence (type)
- gb garbage bin
- gate
- gld grated drain
- hr(1) handrail (type)
- ht hose tap
- hwu hot water unit
- hyd hydrant
- kr kerb ramp
- lb letter box
- ofc off form concrete
- pav(1) pavers (type)
- pos private open space
- pmp permeable paving
- pp power pole
- rw(1) retaining wall (type)
- rwo rainwater outlet
- rwt rainwater tank
- sfc steel float concrete
- sfl structural floor level
- swp storm water pit
- tlc trowel finished concrete
- tgsl tactile ground surface indicator
- tow top of wall
- wfc wood float concrete
- ws wheel stop

1 Site Plan
1:100



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	DD	JOK	JOK
	Sheet		Rev:
DA04	5	of 16	03

Legend (floor plans)
note: drawing may not contain all items listed below

door numbers (as scheduled)
(prefix ex. for existing door)

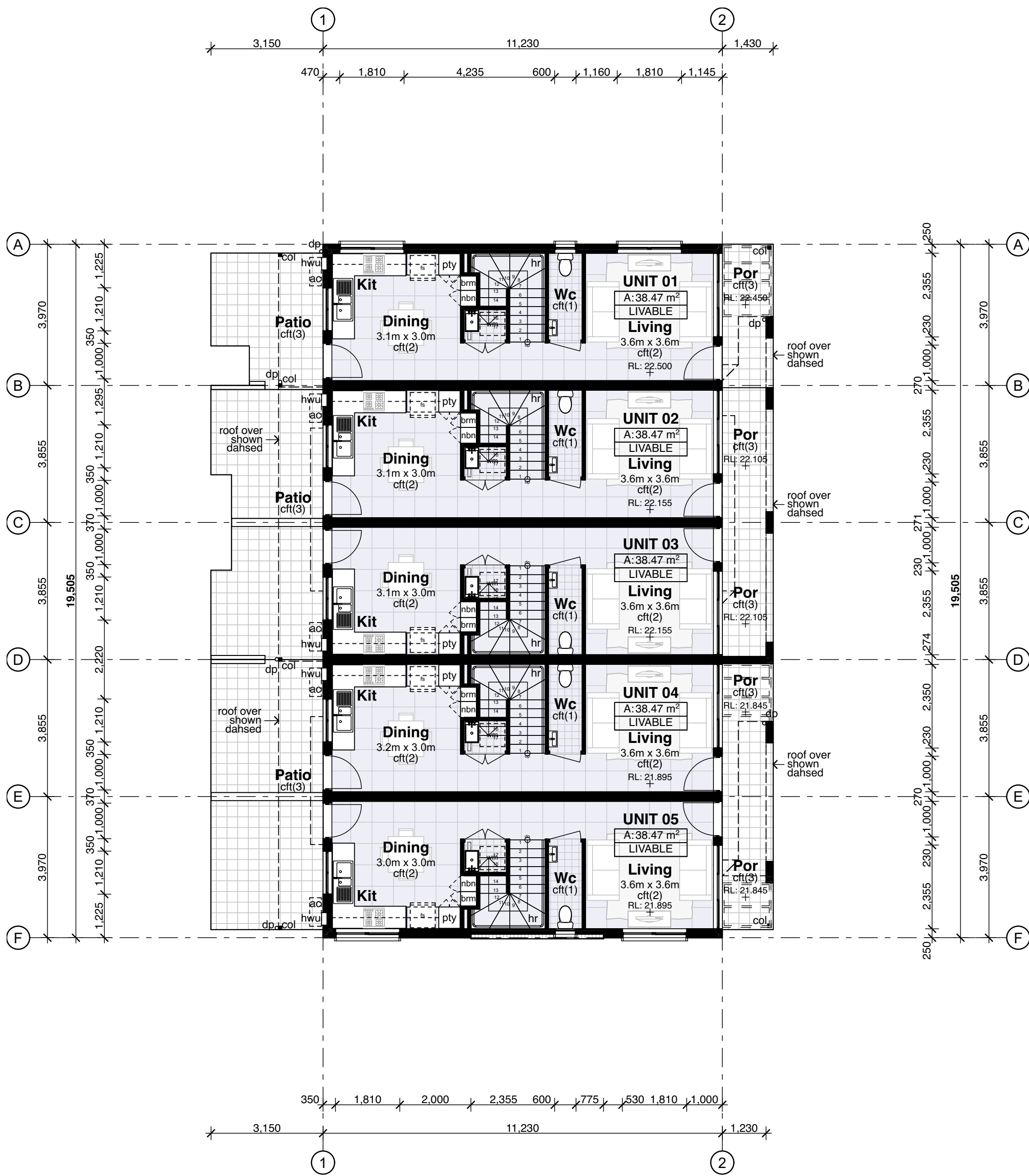
window numbers (as scheduled)
(prefix ex. for existing window)

(a) → wall type (as scheduled)

ac air conditioner condenser
acc accessible
adhc ageing, disability & home care
amb ambulant
ap access panel
bal(1) balustrade (type)
bfc broom finish concrete
bol bollard
brm broom cupboard
bsn basin
cft(1) ceramic floor tile (type)
cj control joint
cl clothes line
col column
comms communication cabinet
cpt(1) carpet (type)
ct cooktop
dp downpipe
dpp doorpost
edb electrical distribution box
ex existing
fb(1) face brickwork (type)
fhr fire hose reel
fm floor mat
fp feature panel
fs fridge space
fw floor waste
gb garbage bin
gt gate
gtd grated drain
hr(1) handrail (type)
ht hose tap
hwt hot water unit
hyd hydrant
kr kerb ramp
lb letter box
lin linen cupboard
mw microwave
ofc off form concrete
pmp permeable paving
ps privacy screen
ply pantry
robe wardrobe
rw(1) retaining wall (type)
rwt rainwater tank
snk sink
sc steel column
sfc steel float concrete
shr shower
sk skytube
sl sliding door
st store
sv(1) sheet vinyl (type)
swp storm water pit
tgsi tactile ground surface indicators
vp vent pipe
wfc wood float concrete
wm washing machine space
wo wall oven
ws wheel stop
wcs window casing

(window & door schedule)

- note:
- dimensions are typically to wall openings unless noted otherwise.
 - all door/window openings are to be site measured prior to any fabrication of frames.
 - check measure against structural layout.
 - please read in combination with all other documentation and schedules. plans take priority on door swings.
 - refer any discrepancies to the architect for further information.
 - flyscreens to all operable windows unless specified.
 - door sills and window subsill as specified, and detailed in sections.
 - all 670 door leaf or greater doors are to be supplied and installed to comply with AS1428.1 disabled access standard.
 - door grilles have not been shown for clarity - refer to mechanical engineer's details.
 - refer to specification for basix section j details of all external windows & doors.
 - all existing doors nominated as undercut to be coordinated with mechanical engineer's documentation.
 - colorbond preformed cover plate to all columns engaged to the glazing systems where necessary.
 - refer to external finishes schedule for metal cladding.



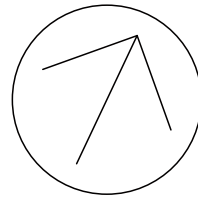
1 Ground Floor Plan (Block A)
1:100



2 First Floor Plan (Block A)
1:100



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Rev	Date	Issue

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figured dimensions take precedence.

Project Architect:
Stanton Dahl Architects
Ph: (02) 8876 5390
Landscape Consultant:

Hydraulic & Structural Consultant:

Electrical Consultant:

Architect:

Stanton
Dahl
Architects



Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)
at
71-73 Viccliffe Avenue, Campsie

Title:
Ground & First Floor Plan (Block
A)
File:
2789.22_Site Master_71-73
Viccliffe Ave, Campsie.pln
Plotted:
27/1/23
8:57 am

Status: Part 5 Activity - ADD DATE
Date: 27/1/23
Stage: DD
Drawing: DA05
Scale: 1:100 @ A1
Drawn: DD
Checked: JOK
Sheet: 6 of 16
Project no: BGVRM
2789.22
Approved: JOK
Rev: 02

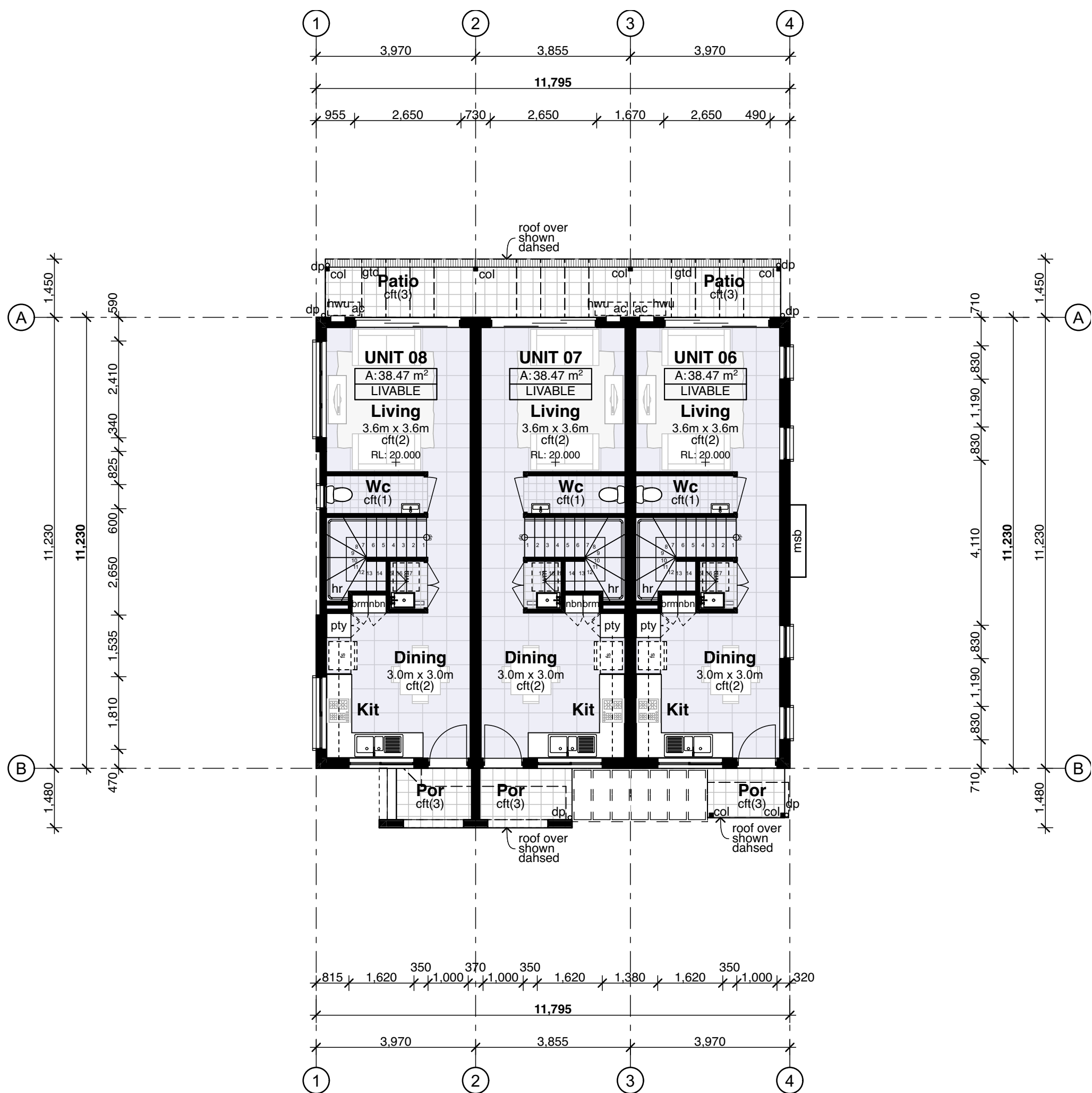
- Legend** (floor plans)
note: drawing may not contain all items listed below
- (DO) door numbers (as scheduled)
(prefix ex. for existing door)
- (WO) window numbers (as scheduled)
(prefix ex. for existing window)
- (a) → wall type (as scheduled)

- ac air conditioner condenser
acc accessible
adhc ageing, disability & home care
amb ambulant
ap access panel
bal(1) balustrade (type)
bfc broom finish concrete
bol bollard
brn broom cupboard
bsn basin
cft(1) ceramic floor tile (type)
cj control joint
cl clothes line
col column
comms communication cabinet
cpt(1) carpet (type)
ct cooktop
dp downpipe
dpp doorpost
edb electrical distribution box
ex existing
fb(1) face brickwork (type)
fhr fire hose reel
fm floor mat
fp feature panel
fs fridge space
fw floor waste
gb garbage bin
gt gate
gtd grated drain
hr(1) handrail (type)
ht hose tap
hwu hot water unit
hyd hydrant
kr kerb ramp
lb letter box
lin linen cupboard
mw microwave
ofc off form concrete
pmp permeable paving
ps privacy screen
ply pantry
robe wardrobe
rw(1) retaining wall (type)
rwt rainwater tank
snk sink
sc steel column
sfc steel float concrete
shr shower
sk skylube
sl sliding door
st store
sv(1) sheet vinyl (type)
swp storm water pit
tgsi tactile ground surface indicators
vp vent pipe
wfc wood float concrete
wm washing machine space
wo wall oven
ws wheel stop
wcs window casing

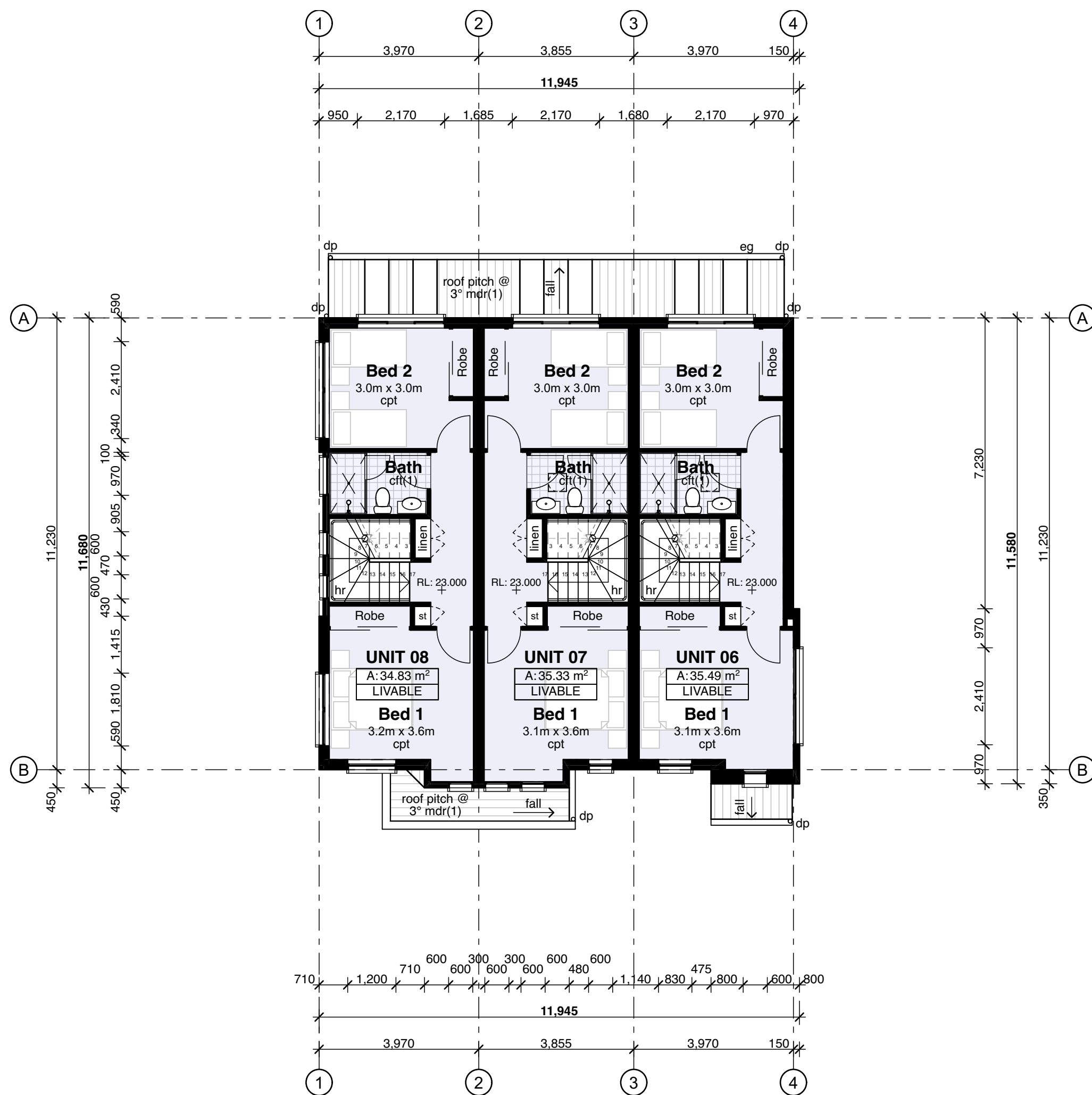
(window & door schedule)

note:

- dimensions are typically to wall openings unless noted otherwise.
- all door/window openings are to be site measured prior to any fabrication of frames.
- check measure against structural layout.
- please read in combination with all other documentation and schedules. plans take priority on door swings.
- refer any discrepancies to the architect for further information.
- flyscreens to all operable windows unless specified.
- door sills and window subsill as specified, and detailed in sections.
- all 670 door leaf or greater doors are to be supplied and installed to comply with AS1428.1 disabled access standard.
- door grilles have not been shown for clarity - refer to mechanical engineer's details.
- refer to specification for basic section j details of all external windows & doors.
- all existing doors nominated as undercut to be coordinated with mechanical engineer's documentation.
- colorbond preformed cover plate to all columns engaged to the glazing systems where necessary.
- refer to external finishes schedule for metal cladding.



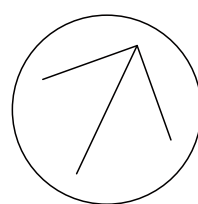
1 Ground Floor Plan (Block B)
1:100



2 First Floor Plan (Block B)
1:100



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02	18/01/23	Revised Part 5 Issue
01	18/11/22	Part 5 Issue
Rev	Date	Issue

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Project Architect:
Stanton Dahl Architects
Ph: (02) 8076 5200

Landscape Consultant:

Hydraulic & Structural Consultant:

Electrical Consultant:

Architect:



Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)
at
71-73 Viccliffe Avenue, Campsie

Title:
Ground & First Floor Plan (Block
B)

File:
2789.22_Site Master_71-73
Viccliffe Ave, Campsie.pln

Plotted:
27/1/23
8:57 am

Status: Part 5 Activity - ADD DATE

Date:	Scale:	S/D job no:	Project no.
27/1/23	1:100 @ A1	BGYRM	2789.22
Stage:	Drawn:	Checked:	Approved:
	DD	JOK	JOK
Drawing:	Sheet:		Rev:
DA06	7	of 16	02

Legend (roof plans)
 c access panel
 p barge capping
 p downpipe
 g eaves gutter
 x. existing
 u flashing
 u gutter
 ndr metal deck roof sheeting
 f overflow
 c parapet capping
 v photovoltaic cells
 ch roof ridge capping
 wh rainwater head
 k skytube
 tray flashing
 g valley gutter
 of vertical overflow
 p vent pipe

provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details

gutter on brackets as specified, roof to be installed, sealed, finished, and waterproofed according to specification

all gutters – guards to all guttering throughout refer to reference specification for group houses' construction adhc

supply metal roof sheeting to comply with AS1562.1

supply downpipes and flashing must comply with AS/NZS 2197.1 and AS15273

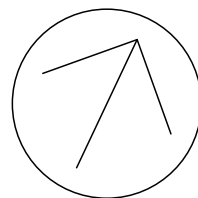
supply water supply pipes to meet hot water supplies. The roof water is not proposed to be used for potable water supply

down pipe sizes are required to satisfy the requirements of BCA 3.5.2.5

the materials used for the materials used must comply with the following:

a) sacking-type materials used in the form of a facing or cladding shall not greater than 5.

b) work used for the transfer of products initiating from a heat source that contains a flame must not be the fire hazard properties set out in AS4524.



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Landscape Consultant

Hydraulic & Structural Consultant:

Electrical Consultant:

Architect:

Stanton
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Architects

Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)

at
71-73 Viccliffe Avenue, Campsie

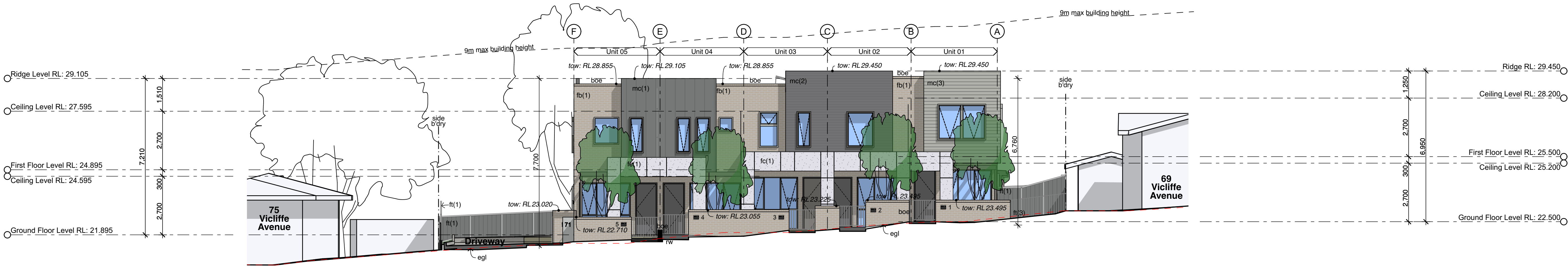
Title:
Roof Plans (Block A & B)

File:
2789.22_Site Master_71-73
Viccliffe Ave, Campsie.pln

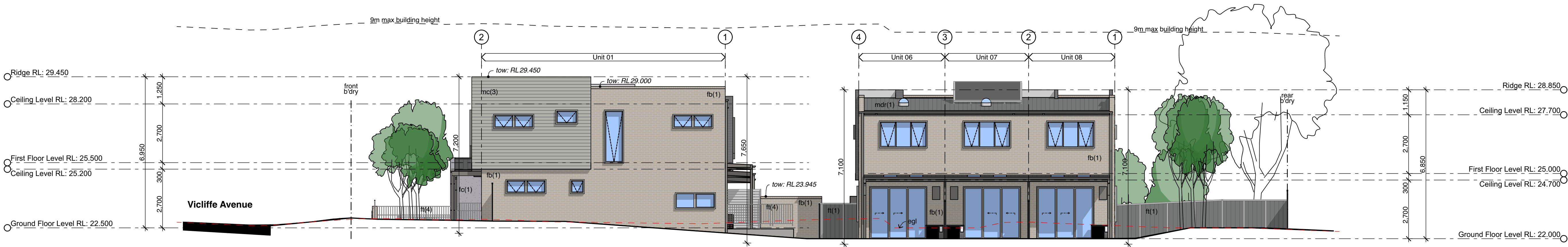
Plotted:
27/1/23
8:57 am

Status: Part 5 Activity - ADD DATE

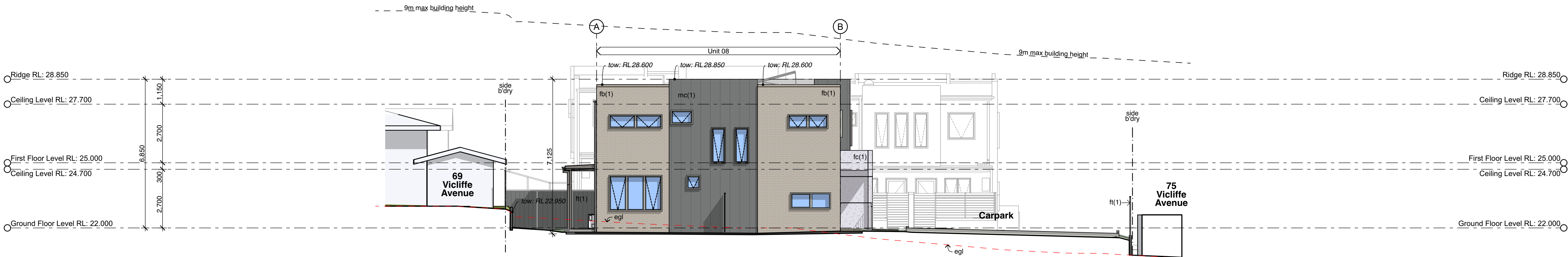
Date:	Scale:	S/d job no:	Project no.
27/1/23	1:100 @ AI	BGYRM	2789.22
Stage:	Drawn:	Checked:	Approved:
	DD	JOK	JOK
Drawing:	Sheet:		Rev:
DA07	8	of 16	02



E01 East Elevation (Viccliffe Ave)
1:100



E02 North Elevation
1:100



E03 West Elevation
1:100

Legend (elevation & sections)

note: drawing may not contain all items listed below

ac	air conditioner condenser
ag	ag pipe
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
bhc	brick header course
boe	brick on edge
bws	brickwork sill
cfc	compressed fibre cement
cj	control joint
conc.	concrete
cs	coved skirting
dp	downpipe
eg	eaves gutter
egl	existing ground line
ex	existing
ex	fixed sash window
fb(1)	face brickwork (type)
fc(1)	finished ceiling level
ffi	finished floor level
fp	feature panel
gl	ground line
gt	gate
hr(1)	handrail (type)
hwu	hot water unit
mc(1)	metal cladding (type)
mdr	metal deck roof
p(1)	paint (type)
pbd	plasterboard
ps	privacy screen
pvc	photovoltaic cells
rc	rendered concrete
rp(1)	render & paint finish (type)
rs	roller shutter
rw	retaining wall
rwh	rainwater head
s	sliding sash window
sc	steel column
sk	skytube
sl	sliding door
ss(1)	sun shade (type)
ts	timber skirting
wcs	window casing

note:

1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

Face Brick - fb(1)
Light Brick
Metal Deck Roofing - mdr(1)
Medium Grey
Metal Cladding - mc(1) - Vertical
Medium Grey
Metal Cladding - mc(2) - Horizontal
Medium Grey
Metal Cladding - mc(3) - Horizontal
Medium Grey
Colorbond Fencing - ft(1) & ft(2)
Medium Grey
Slatted Fencing - ft(5), ft(6) & ft(7)
Medium Grey
Entry Doors, Entry Door Frames
DULUX - Colorbond Basalt
Window Frames, Window Hoods, Gutters, Down Pipes, ft(3) & ft(4)
DULUX - Colorbond Windspray
Window Frames, Window Hoods
DULUX - Colorbond Shale Grey
Entry Portals fc(1)
Cemintel Barestone
Rendered & Painted - rp(1) Main letterbox walls
Dulux - Lexicon



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01	18/11/22	Part 5 Issue
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Ph: (02) 8876 5300

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Hydraulic & Structural Consultant:

Electrical Consultant:

Architect:

Stanton
Dahl
Architects

Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)
at
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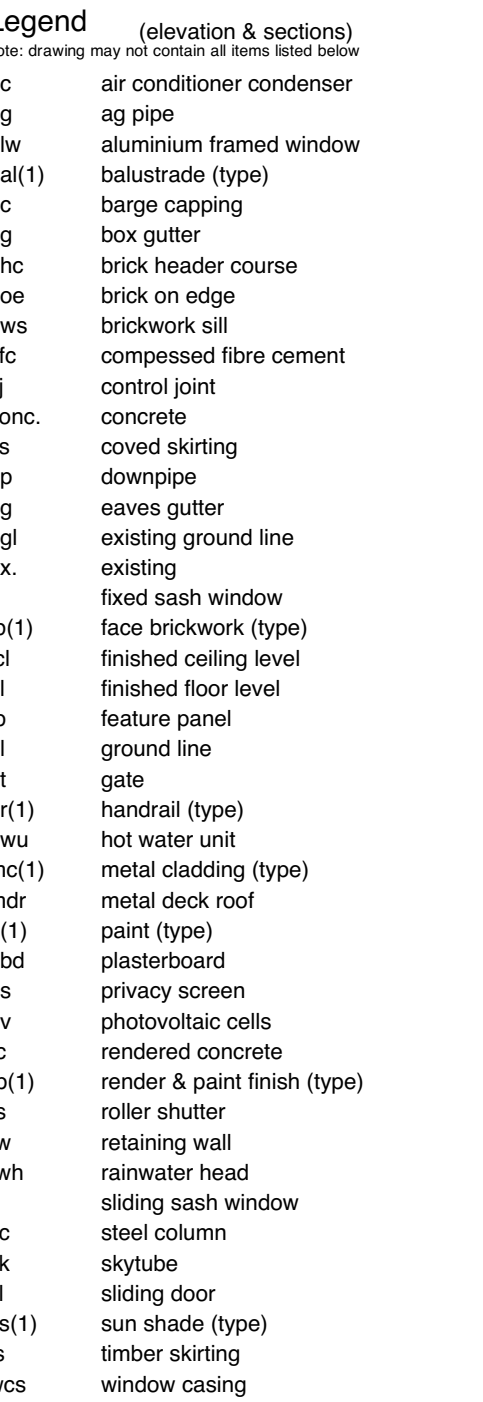
Title:
Elevations

File:
2789.22_Site Master_71-73
Viccliffe Ave, Campsie.pln

Plotted:
27/1/23
8:57 am

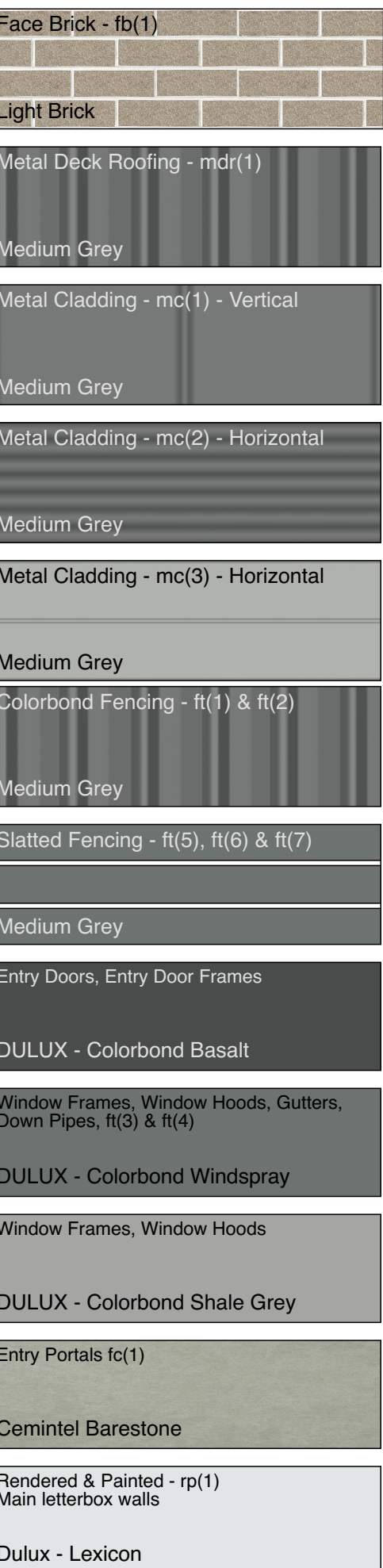
Status: Part 5 Activity - ADD DATE

Date:	Scale:	S/D job no:	Project no:
27/1/23	1:100 @ A1	BGYRM	2789.22
Stage:	Drawn:	Checked:	Approved:
	DD	JOK	JOK
Drawing:	Sheet:		Rev:
DA08	9	of 16	02



note:

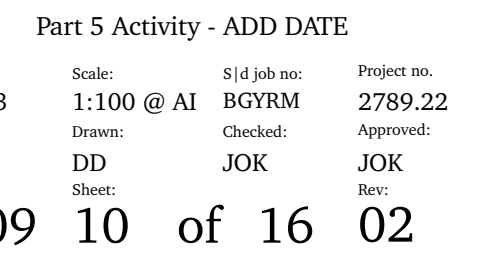
- all handrails, balustrades & louvres shown indicatively only. refer to detail drawings for clarity.
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- acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.



Part 5 Activity - ADD DATE

Scale:	S/d job no:	Project no.
1:100 @ AI	BGYRM	2789.22
Drawn:	Checked:	Approved:
DD	JOK	JOK
Sheet:		Rev:

09 10 of 16 02



Part 5 Activity - ADD DATE

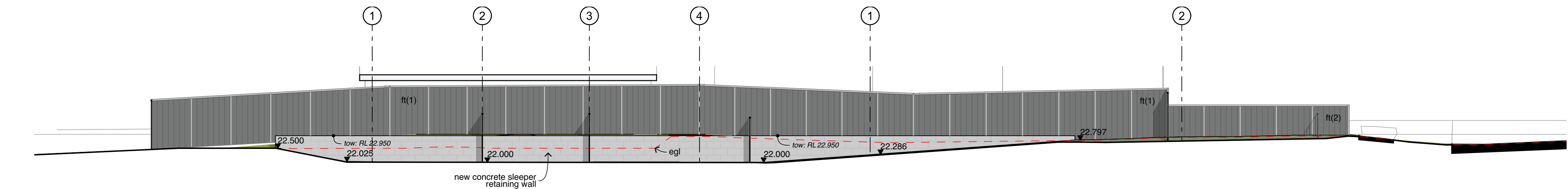
Scale:	S/d job no:	Project no.
1:100 @ AI	BGYRM	2789.22
Drawn:	Checked:	Approved:
DD	JOK	JOK
Sheet:		Rev:

09 10 of 16 02

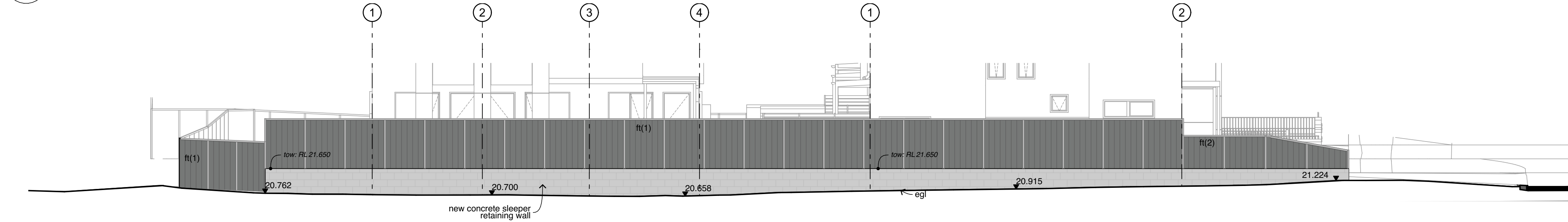
- Legend** (elevation & sections)
note: drawing may not contain all items listed below
- ac air conditioner condenser
 - ag ag pipe
 - alw aluminium framed window
 - bal(1) balustrade (type)
 - bc barge capping
 - bg box gutter
 - bhc brick header course
 - boe brick on edge
 - bws brickwork sill
 - cfc compressed fibre cement
 - cj control joint
 - conc. concrete
 - cs coved skirting
 - dp downpipe
 - eg eaves gutter
 - egl existing ground line
 - ex. existing
 - f fixed sash window
 - fb(1) face brickwork (type)
 - fc(1) finished ceiling level
 - ft(1) finished floor level
 - fp feature panel
 - gl ground line
 - gt gate
 - hr(1) handrail (type)
 - hwu hot water unit
 - mc(1) metal cladding (type)
 - mdr metal deck roof
 - p(1) paint (type)
 - pbd plasterboard
 - ps privacy screen
 - pv photovoltaic cells
 - rc rendered concrete
 - rp(1) render & paint finish (type)
 - rs roller shutter
 - rw retaining wall
 - nwh rainwater head
 - s sliding sash window
 - sc steel column
 - sk skytube
 - sl sliding door
 - ss(1) sun shade (type)
 - ts timber skirting
 - wcs window casing

- note:
1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

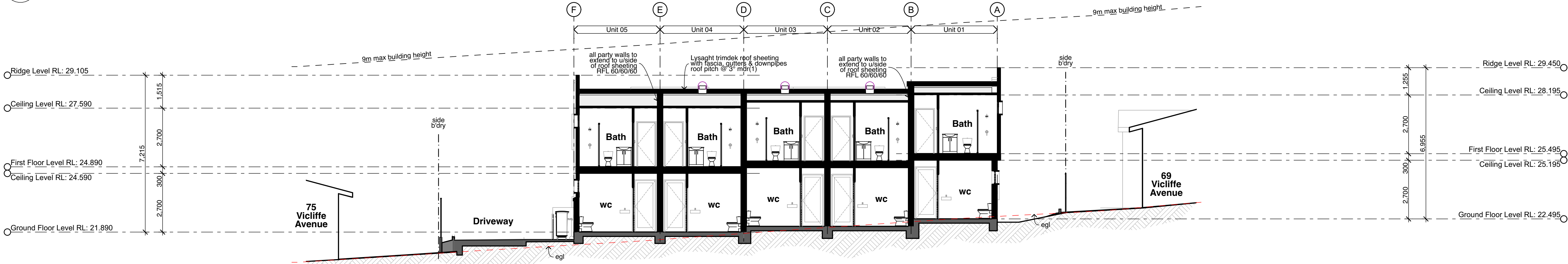
Face Brick - fb(1)
Light Brick
Metal Deck Roofing - mdr(1)
Medium Grey
Metal Cladding - mc(1) - Vertical
Medium Grey
Metal Cladding - mc(2) - Horizontal
Medium Grey
Metal Cladding - mc(3) - Horizontal
Medium Grey
Colorbond Fencing - ft(1) & ft(2)
Medium Grey
Slatted Fencing - ft(5), ft(6) & ft(7)
Medium Grey
Entry Doors, Entry Door Frames
DULUX - Colorbond Basalt
Window Frames, Window Hoods, Gutters, Down Pipes, ft(3) & ft(4)
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Window Frames, Window Hoods
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Entry Portals fc(1)
Cemintel Barestone
Rendered & Painted - rp(1) Main letterbox walls
Dulux - Lexicon



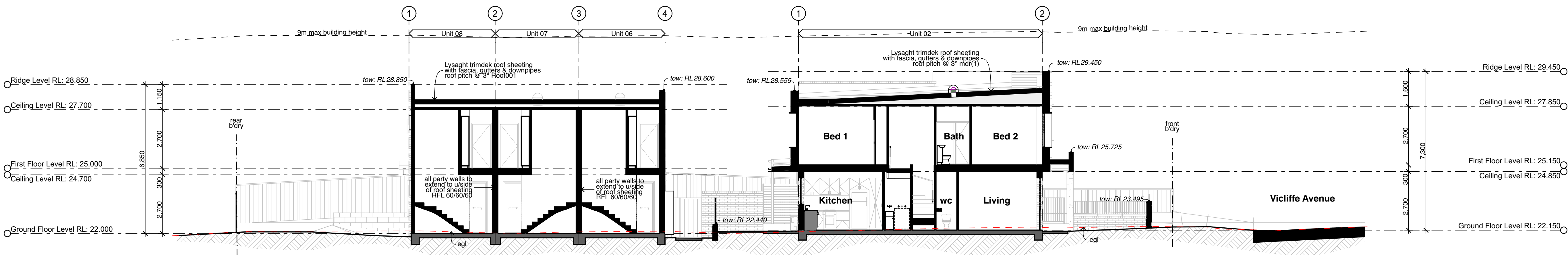
E08 North Boundary Retaining Wall
1:100



E09 South Boundary Retaining Wall
1:100



S01 Section 01
1:100



S02 Section 02
1:100



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01	18/11/22	Part 5 Issue
Rev	Date	Issue
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Project Architect:
Stanton Dahl Architects
Pw: (02) 8876 5200

Landscape Consultant:

Hydraulic & Structural Consultant:

Architect:

Electrical Consultant:

Stanton
Dahl
Architects

Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)
at
71-73 Vicliffe Avenue, Campsie

Title:
Elevations & Sections

File:
2789.22_Site Master_71-73
Vicliffe Ave, Campsie.pln

Plotted:
27/1/23
8:58 am

Status: Part 5 Activity - ADD DATE

Date:	Scale:	S/D job no:	Project no:
27/1/23	1:100 @ A1	BGYRM	2789.22
Stage:	Drawn:	Checked:	Approved:
	DD	JOK	JOK
Drawing:	Sheet:		

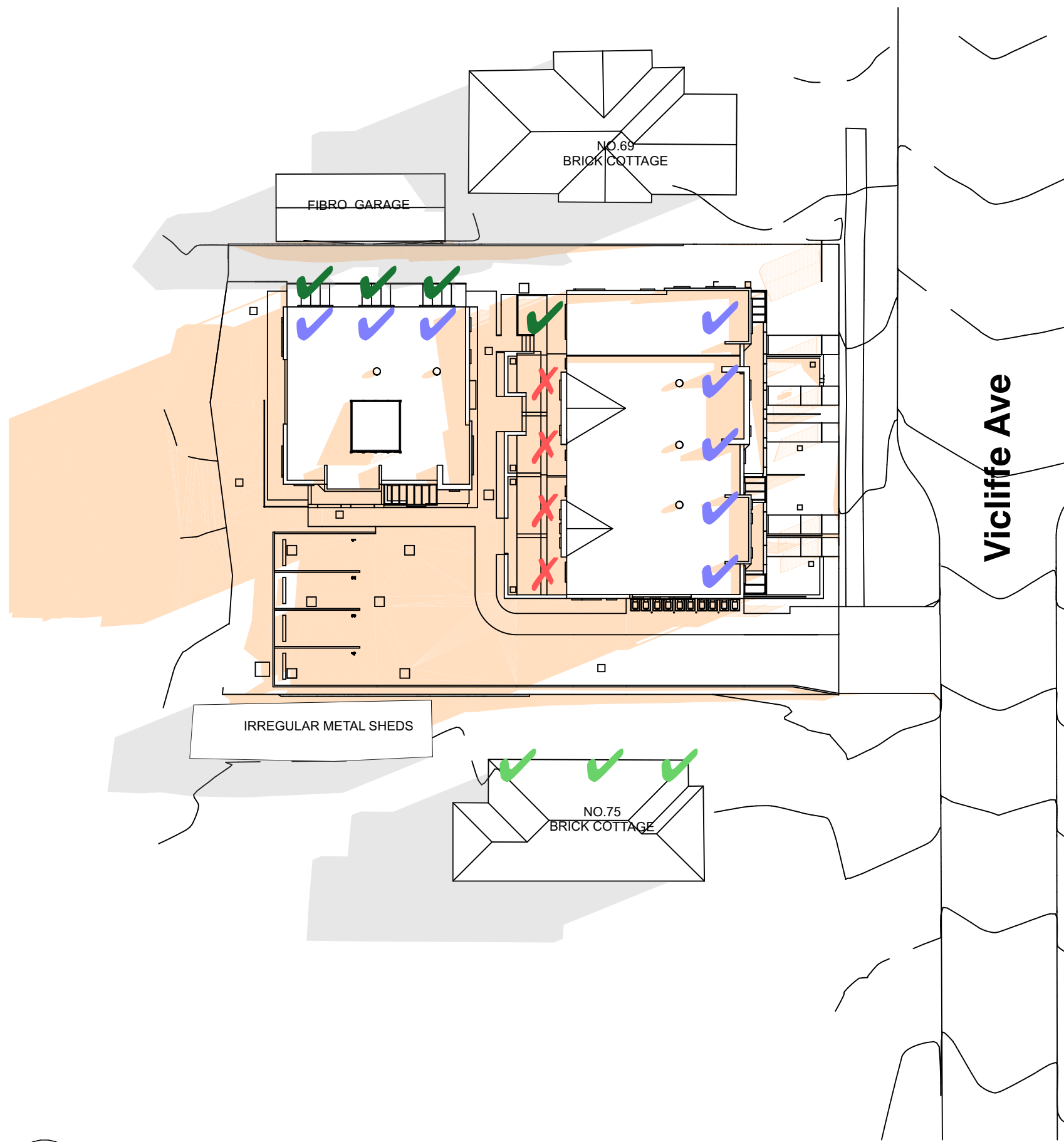
DA10 11 of 16 02

Legend shadow diagrams
note: drawing may not contain all items listed below

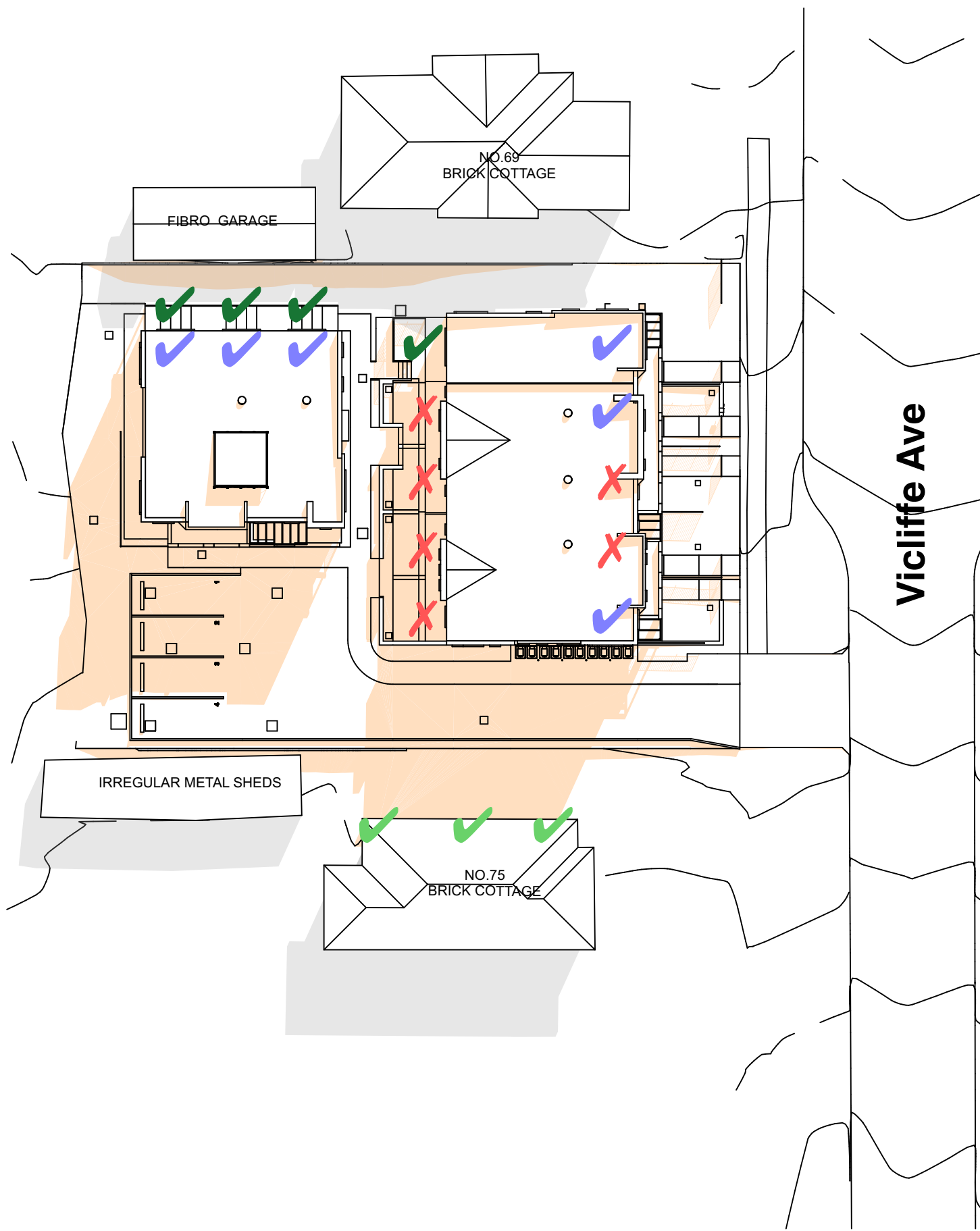
note:
shadows cast: proposed buildings

note:
shadows cast: existing neighbour buildings

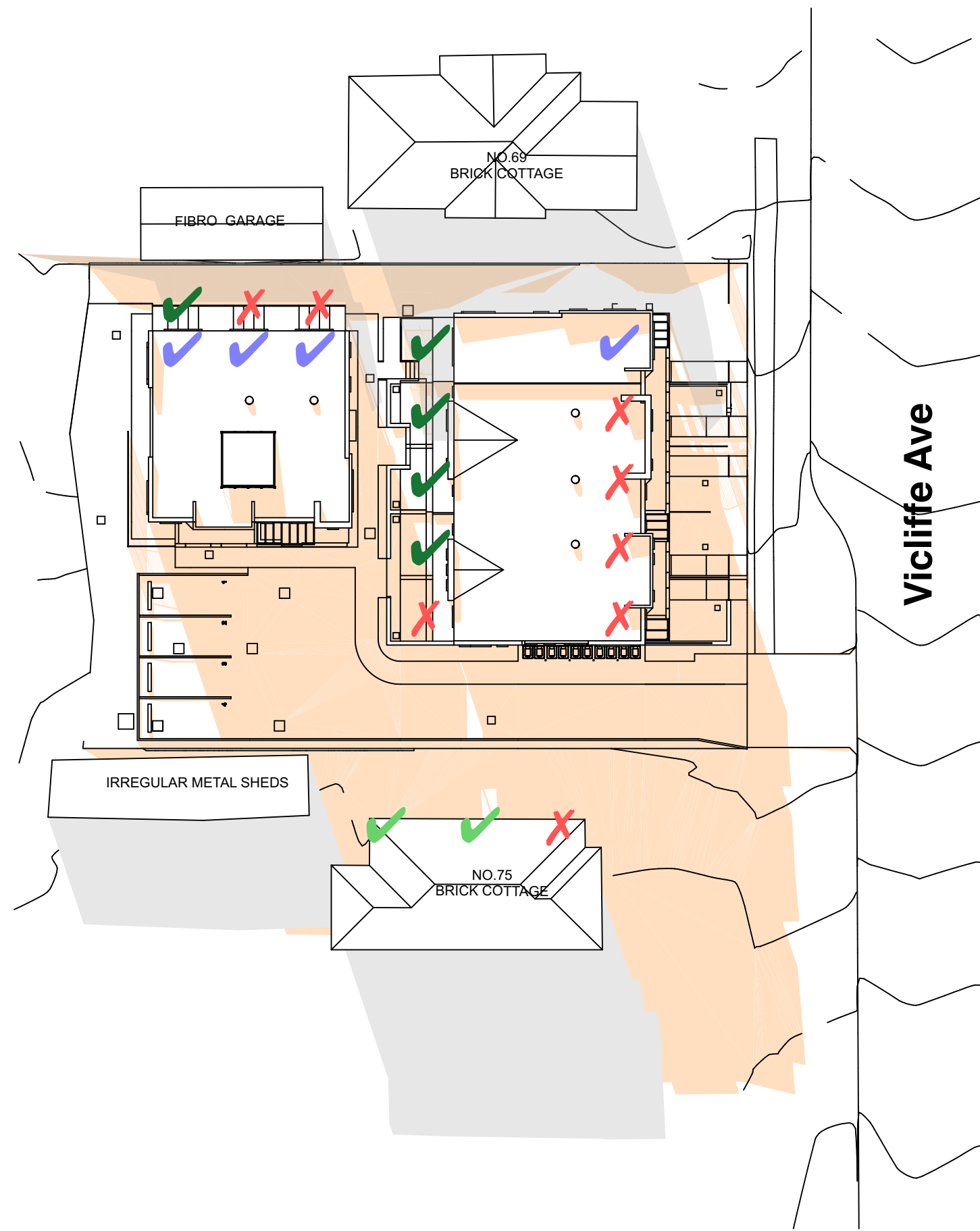
- ✓ sunlight to neighbour's windows
- ✗ no sunlight to neighbour's windows
- ✓ sunlight to living area
- ✗ no sunlight to living area
- ✓ sunlight to private open space
- ✗ no sunlight to private open space



01 Shadows (proposed) 9am June 21
1:300



02 Shadows (proposed) 12pm June 21
1:300



03 Shadows (proposed) 3pm June 21
1:300

Living Areas

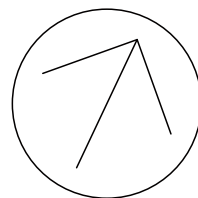
Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	✓	✓	✓	✓	x	x	x	3.5	y
3	✓	✓	✓	✓	x	x	x	3.5	y
4	✓	✓	✓	x	x	x	x	2.5	n
5	✓	✓	✓	x	x	x	x	2.75	n
6	x	✓	✓	✓	✓	✓	✓	5	y
7	x	✓	✓	✓	✓	✓	✓	5	y
8	x	✓	✓	✓	✓	✓	✓	5	y

70% of total no. of units must have 3 hours
sunlight to livings areas between 9am & 3pm
Complies 6/8 = 75%

POS

Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	x	x	x	x	✓	✓	✓	3.75	y
3	x	x	x	x	✓	✓	✓	3.75	y
4	x	x	x	x	✓	✓	✓	3.25	y
5	x	x	x	x	✓	✓	x	2.75	n
6	x	✓	✓	✓	✓	x	x	4.25	y
7	x	✓	✓	✓	✓	x	x	4.25	y
8	✓	✓	✓	✓	✓	✓	✓	6	y

70% of total no. of units must have 3 hours sunlight to
private open space between 9am & 3pm
Complies 7/8 = 88%





Living Areas

Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	✓	✓	✓	✓	x	x	x	4	y
3	✓	✓	✓	✓	x	x	x	4	y
4	✓	✓	✓	✓	x	x	x	4	y
5	✓	✓	✓	✓	x	x	x	4	y
6	x	✓	✓	✓	✓	✓	✓	5	y
7	x	✓	✓	✓	✓	✓	✓	5	y
8	x	✓	✓	✓	✓	✓	✓	5	y

70% of total no. of units must have 3 hours
sunlight to livings areas between 9am & 3pm
Complies 8/8 = 100%

POS

Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	x	x	x	✓	✓	✓	✓	4	y
3	x	x	x	✓	✓	✓	✓	4	y
4	x	x	x	✓	✓	✓	x	3	y
5	x	x	x	✓	✓	✓	x	3	y
6	x	✓	✓	✓	✓	x	x	4	y
7	x	✓	✓	✓	x	x	x	4	y
8	✓	✓	✓	✓	✓	✓	✓	6	y

70% of total no. of units must have 3 hours sunlight to
private open space between 9am & 3pm
Complies 8/8 = 100%



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01	18/11/22	Part 5 Issue
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Project:
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at
71-73 Vicliffe Avenue, Campsie

Title:
Shadow Diagrams - View from
Sun

File:
2789.22_Site Master_71-73
Vicliffe Ave, Campsie.pln

Plotted:
27/1/23
8:58 am

Status: Part 5 Activity - ADD DATE

Date: 27/1/23
Stage: DD
Drawing: DA12 13 of 16 02

Scale: 1:313 @ AI
Checked: JOK
Rev: JOK

Project no.: 2789.22
Approved: JOK
Rev: JOK



Shadows @ 12pm



Shadows @ 12:15pm



Shadows @ 12:30pm



Shadows @ 12:45pm



Shadows @ 1pm



Shadows @ 1:15pm



Shadows @ 1:30pm



Shadows @ 1:45pm



Shadows @ 2pm



Shadows @ 2:15pm



Shadows @ 2:30pm



Shadows @ 2:45pm



Shadows @ 3pm



Shadows @ 3:15pm



Shadows @ 3:30pm



Shadows @ 3:45pm



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Plotted:
27/1/23
8:58 am

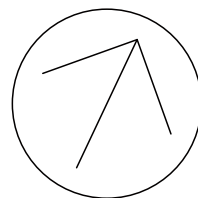
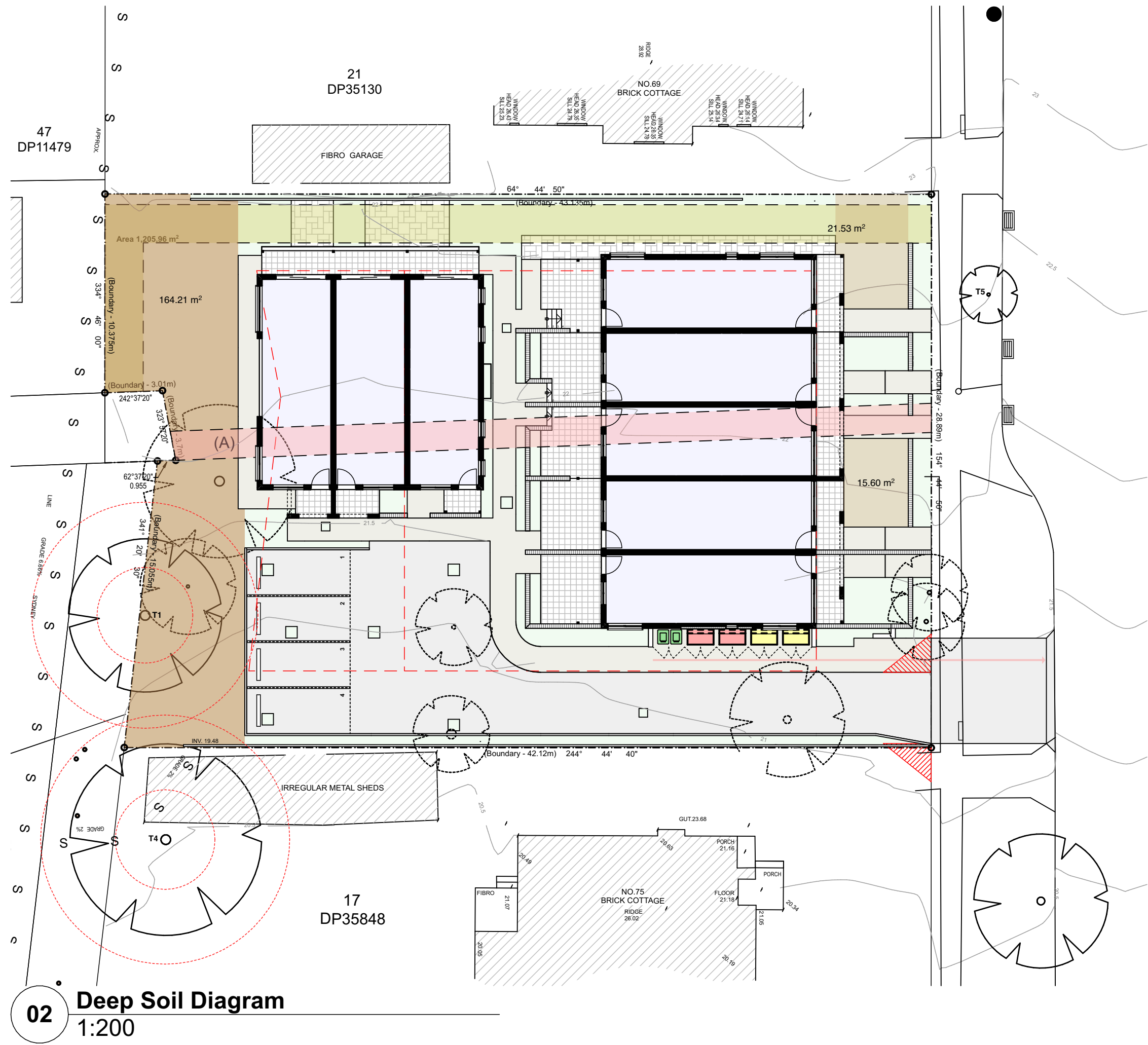
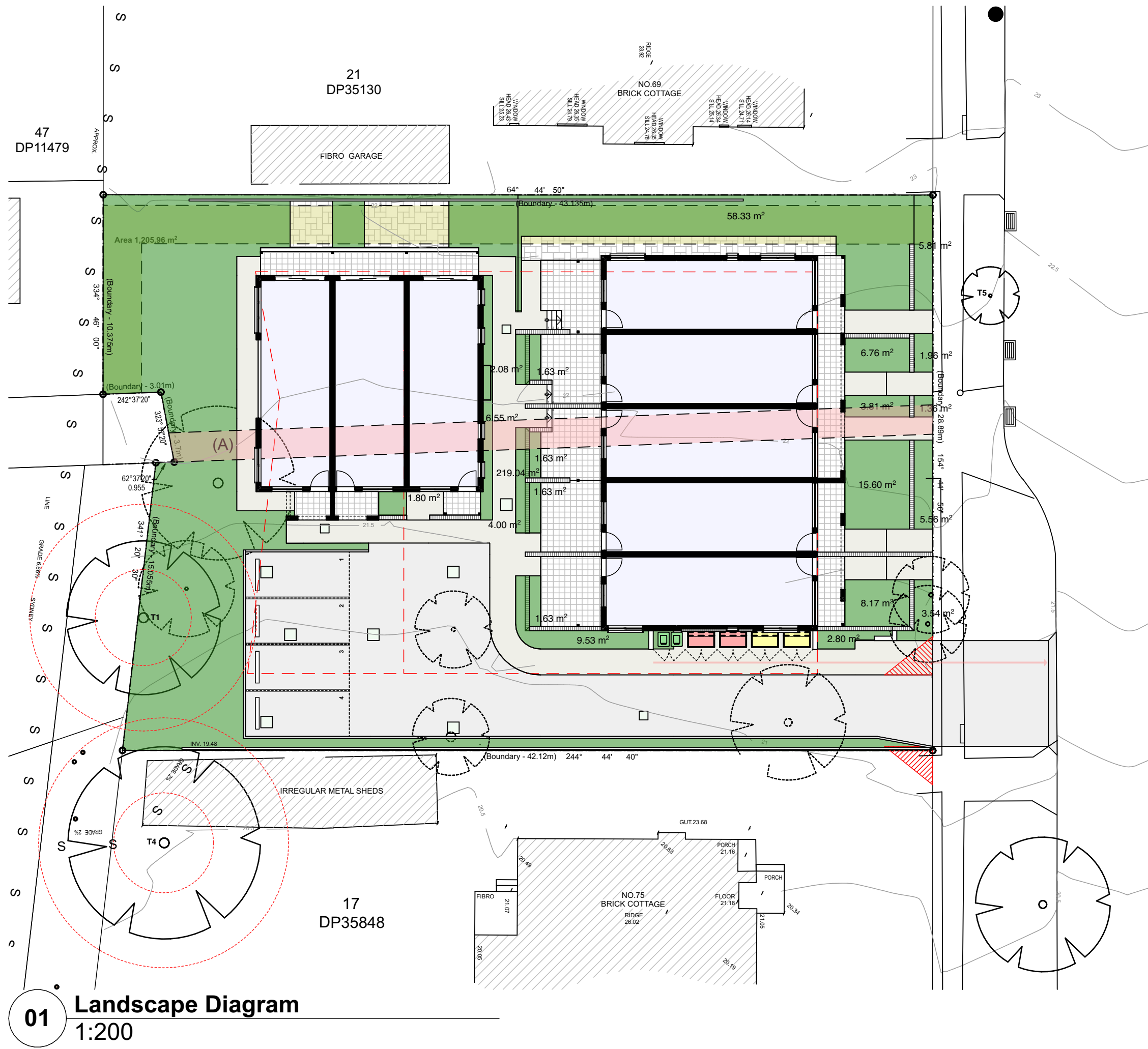
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Date:	27/1/23	Scale:	1:313 @ AI	S/d job no:	BGYRM	Project no:	2789.22
Stage:	DD	Drawn:	JOK	Checked:	JOK	Approved:	JOK
Drawing:	DA13	Sheet:	14	Rev:	02		

Legend
note: drawing may not contain all items listed below

note:
Green area indicates
landscape area
Total: 363m²

note:
Brown area indicates deep soil
zone (min. dim 3x3m)
Total: 201m²



02	18/01/23	Revised Part 5 Issue
01	18/11/22	Part 5 Issue
Rev	Date	Issue
do not scale drawings, check all dimensions on site, figured dimensions take precedence.		

Project Architect:
Stanton Dahl Architects
Ph: (02) 8876 5300

Landscape Consultant:

Hydraulic & Structural Consultant:

Electrical Consultant:

Architect:

Project:
Multi Dwelling Housing Development (8x2
Bed Townhouses)
at
71-73 Viccliffe Avenue, Campsie

Title:
Landscape & Deep Soil Diagrams

File:
2789.22_Site Master_71-73
Viccliffe Ave, Campsie.pln

Plotted:
27/1/23
8:58 am

Status: Part 5 Activity - ADD DATE

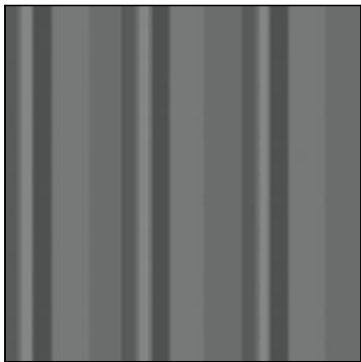
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27/1/23	1:200 @ A1	BGYRM	2789.22
Stage:	Drawn:	Checked:	Approved:
	DD	JOK	JOK
Drawing:	Sheet:	Rev:	
DA14	15	of 16	02

External Colour Selection

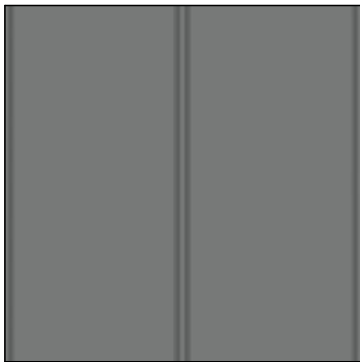
71-73 Viccliffe Avenue, Campsie, NSW
Lots 18 & 20 DP 35130 & 35848



Face Brick - fb(1)
Light Brick



Metal Deck Roofing - mdr(1)
Medium Grey



Metal Cladding - mc(1)
Vertical
Medium Grey



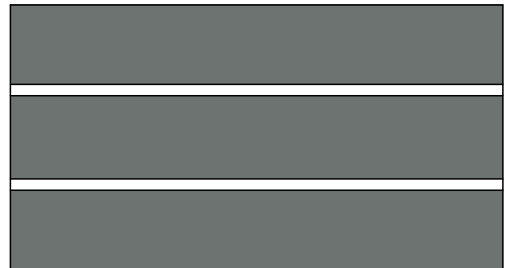
Metal Cladding - mc(2)
Horizontal
Medium Grey



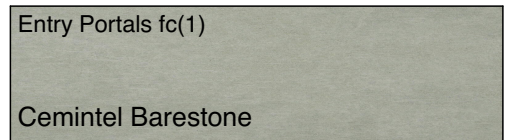
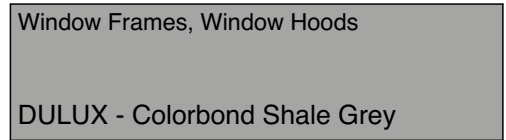
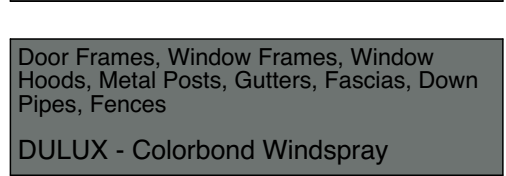
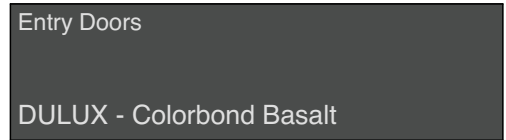
Metal Cladding - mc(3)
Horizontal
Medium Grey



Colorbond Fencing - ft(1)
Medium Grey



Slatted Fencing - ft(5), ft(6) & ft(7)
Medium Grey



Rev	Issue	Date
01	Part 5 Issue	18/11/22
02	Revised Part 5 Issue	18/01/23

PART 5 ISSUE

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All dimensions to be verified on site and any discrepancies referred to architect for determination. figured dimensions to take precedence over scaled dimensions.

Simpson Building Group,
Multi Dwelling Housing
Development (8x2 Bed
Townhouses)
71-73 Viccliffe Avenue,
Campsie, NSW Lots 18 &
20 DP 35130 & 35848

External Colour Selection

Project No;
2789.22

Drawing No; Revision#;
DA15 02

Scale; as noted @ A3

Drawn; DD

Plot date; 27/1/23

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www.stantondahl.com.au

Stanton Dahl & Associates Pty Limited, ABN 32 002 261 396
Nominated Architects : D.P Stanton 3642, S.M Evans 7686
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